



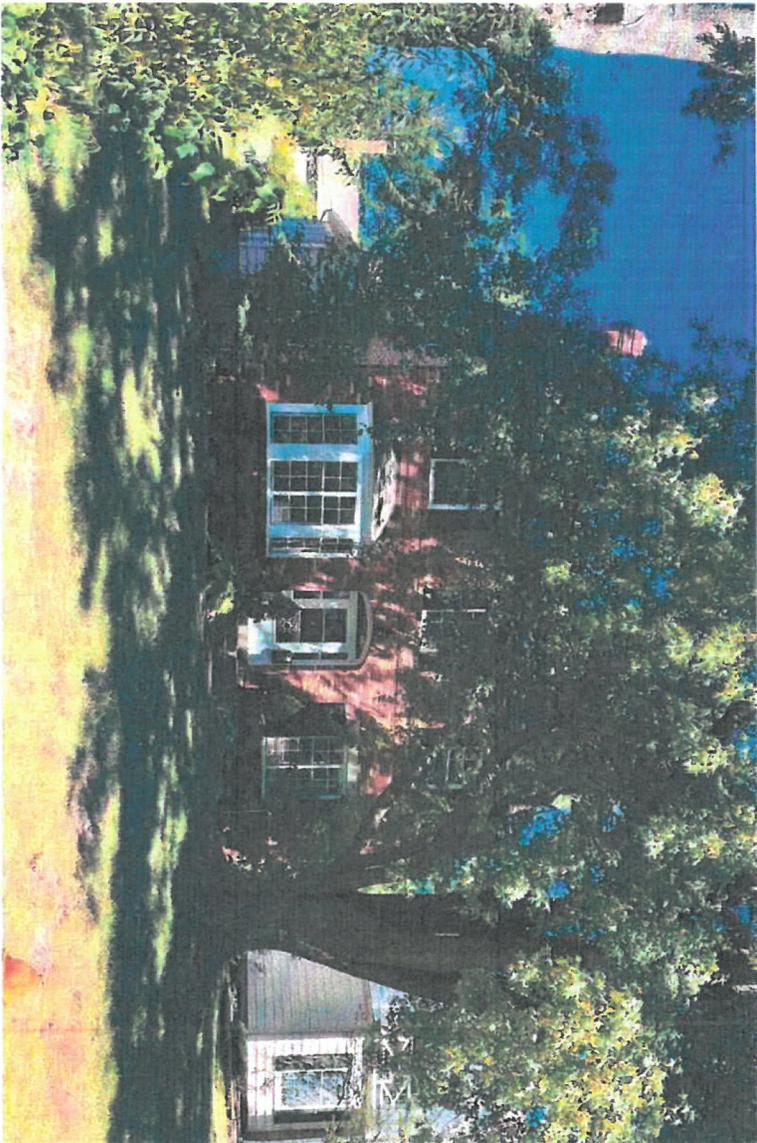
424 N. Sappington Road Glendale, Missouri 63122 (314) 965-3600 fax (314) 965-4772

APPLICATION FOR ARCHITECTURAL REVIEW BOARD

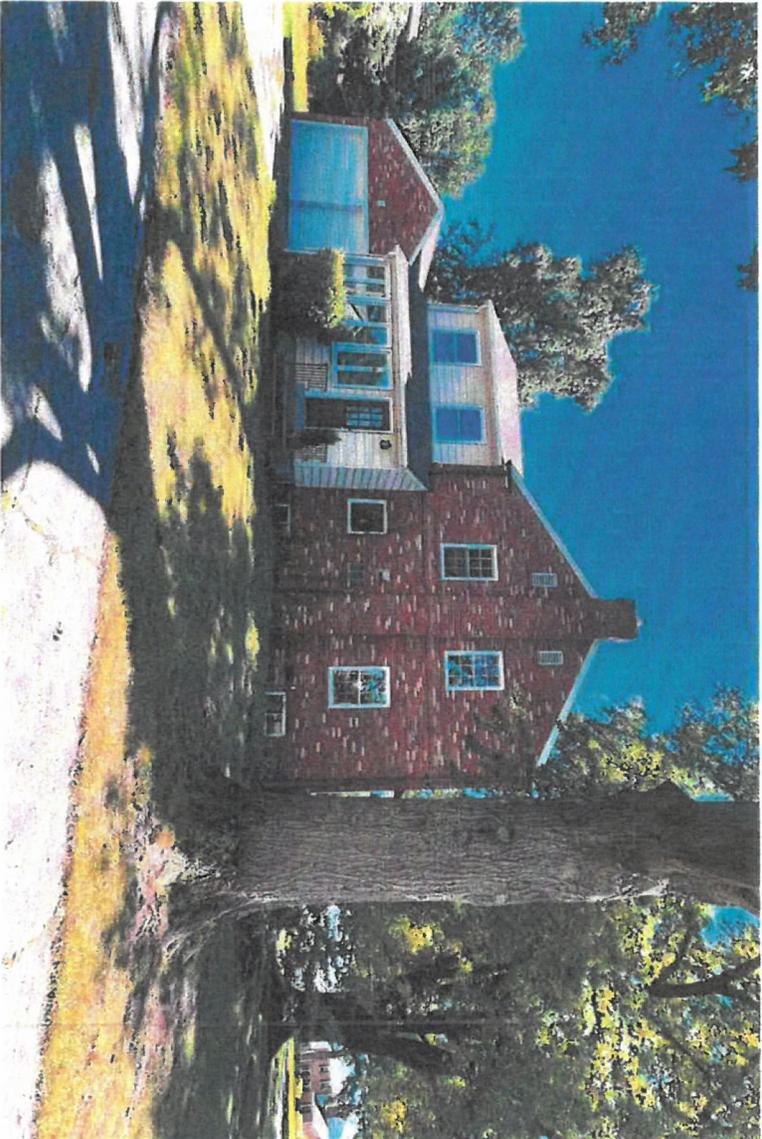
APPLICATION DATE 9/1/23 DATE OF ARB MEETING 9/13/23 ESTIMATED COST \$800,000
PROJECT ADDRESS 801 HAWBROOK GLENDALE, MO 63122
NAME OF PROPERTY OWNER KEVIN & CARLY KOKE PHONE NUMBER
CONTRACTOR (NAME) REX PEARL-PEARL CONST. PHONE NUMBER 314-220-9555
CONTRACTOR ADDRESS 58 HILL DR.
ARCHITECT (NAME) DONNA BOXX PHONE NUMBER 314-434-2333
ARCHITECT ADDRESS 160 MARINE LN S. LOUIS MO 63146
DETAILED DESCRIPTION OF WORK BEING PROPOSED: 2 STORY TO 1.5 STORY
ADDING GARAGES & EXPANDING MAIN FLOOR
FLOOR AREA RATIO 23.3 (FAR = Floor area divided by total area of lot. Floor area includes all areas provided with heat and/or air conditioning. All living space with ceiling heights of sixteen (16) feet or greater shall be counted at 200%. Attached garages shall be counted at 50%. Exclude any finished or unfinished basement, a detached garage, and any unenclosed porch).
TOTAL FLOOR AREA OF NEW CONSTRUCTION (SQ. FT.) 2163
TOTAL FLOOR AREA OF EXISTING STRUCTURE (SQ. FT.) 1841
TOTAL SQ. FT. OF LOT 19199 WIDTH AND DEPTH OF LOT (FT.) 120x160
HEIGHT OF STRUCTURE 29'8" NUMBER OF STORIES 2
ESTIMATED COMMENCE DATE 11/1/23 EST. COMPLETION DATE 6/1/24

Each application shall be accompanied with payment of a fee as follows:
Addition or Accessory Structure: \$150.00
New Home: \$200.00

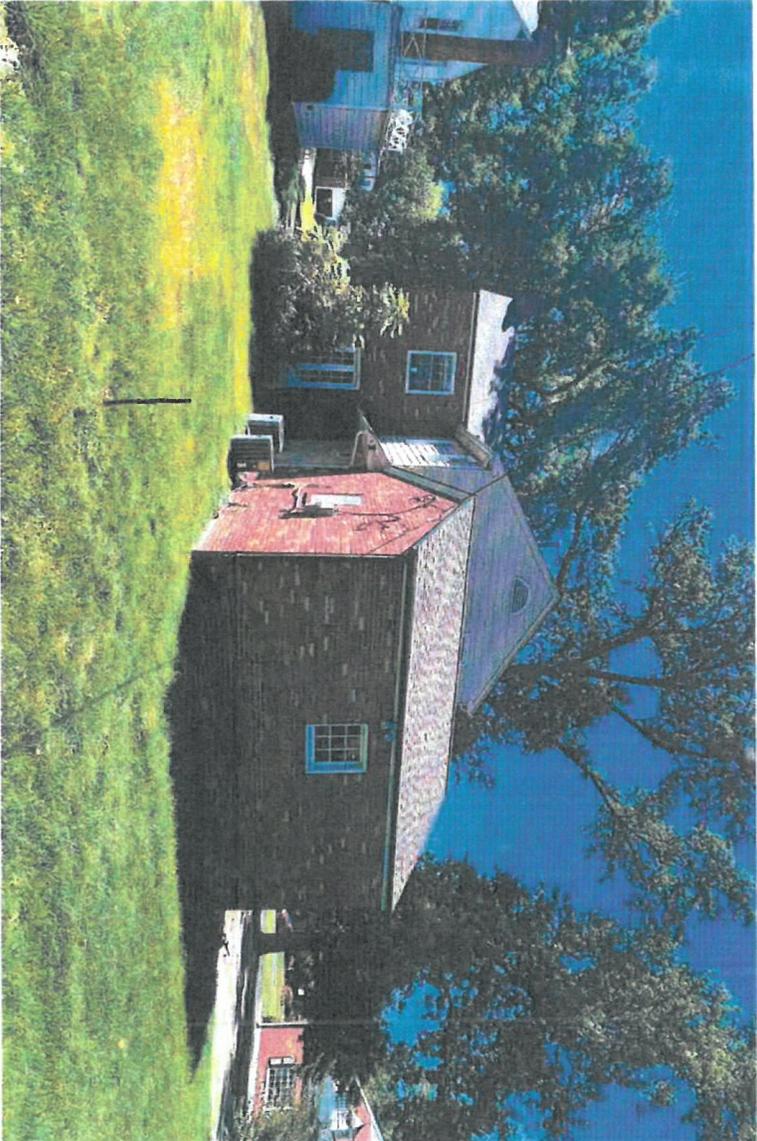
Applications must also include 10 copies of the following items collated into individual packets. Packets not collated may be accepted for scheduling purposes, but will be returned to applicants for collation and are due no later than 12:00 p.m. one week prior to the scheduled ARB meeting. (Please check each item included):



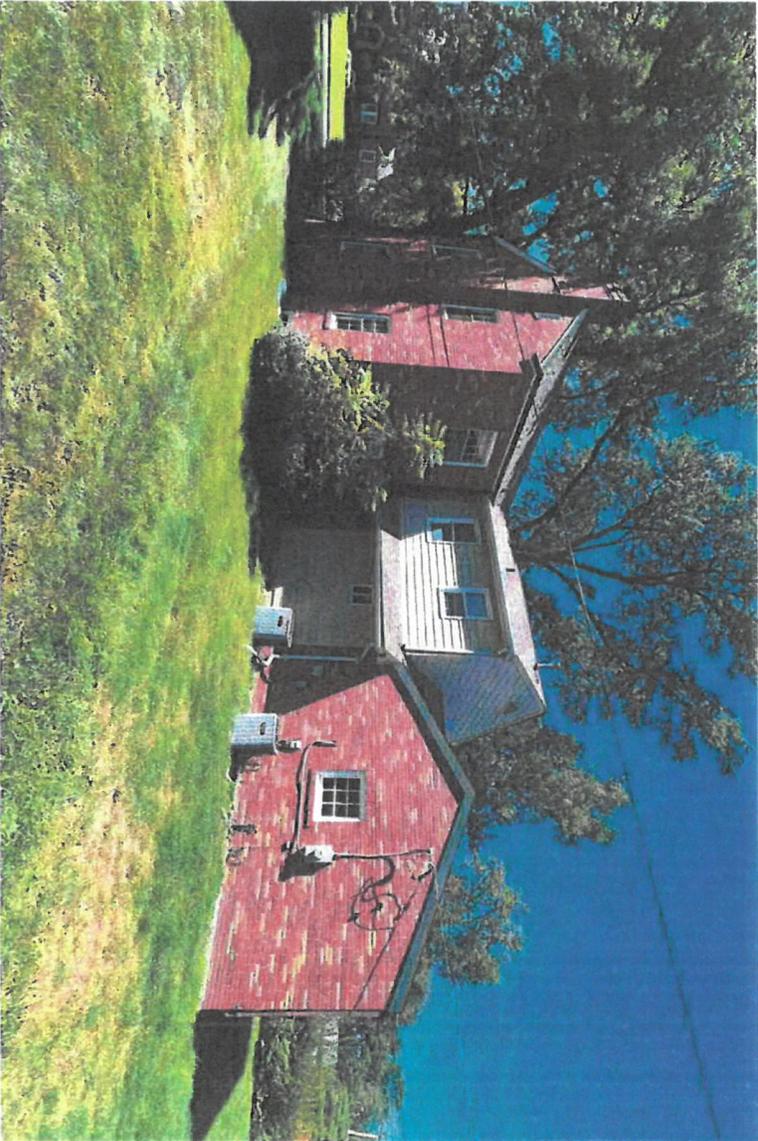
FRONT
801 Hawth Brook



WEST SIDE
801 Hawth Brook



REAR
801 Hausbrook



East Side
801 Hawth Brook

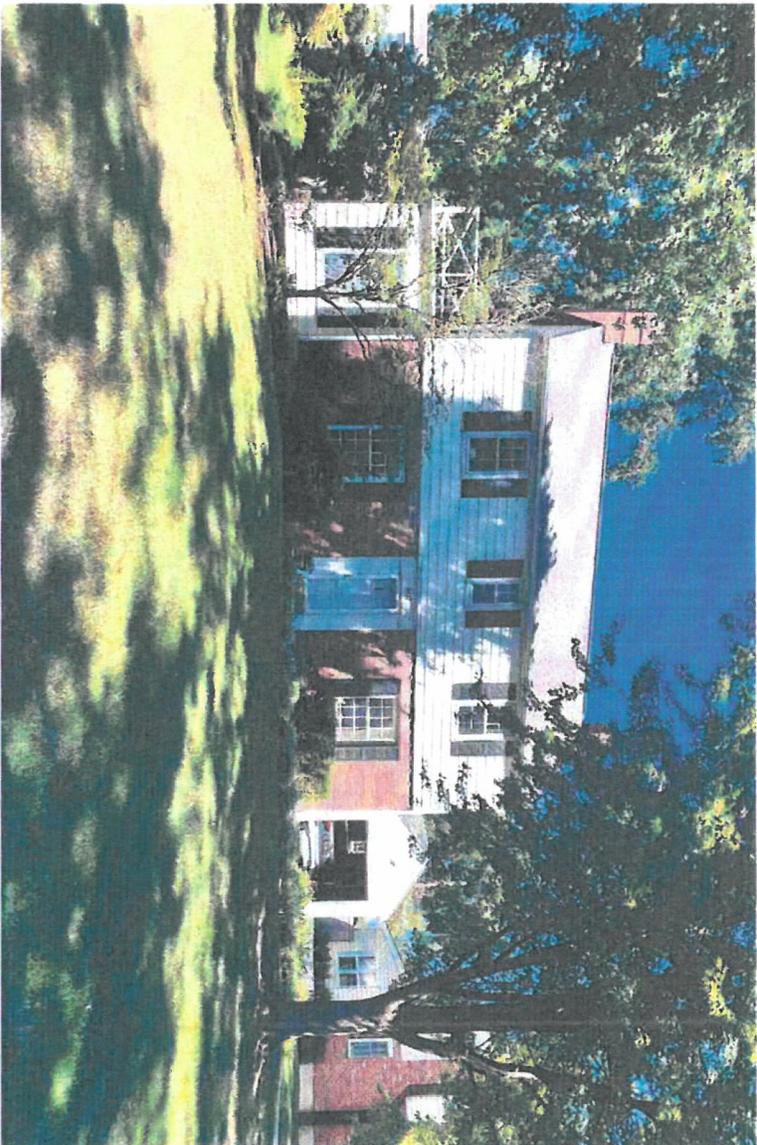


FRONT

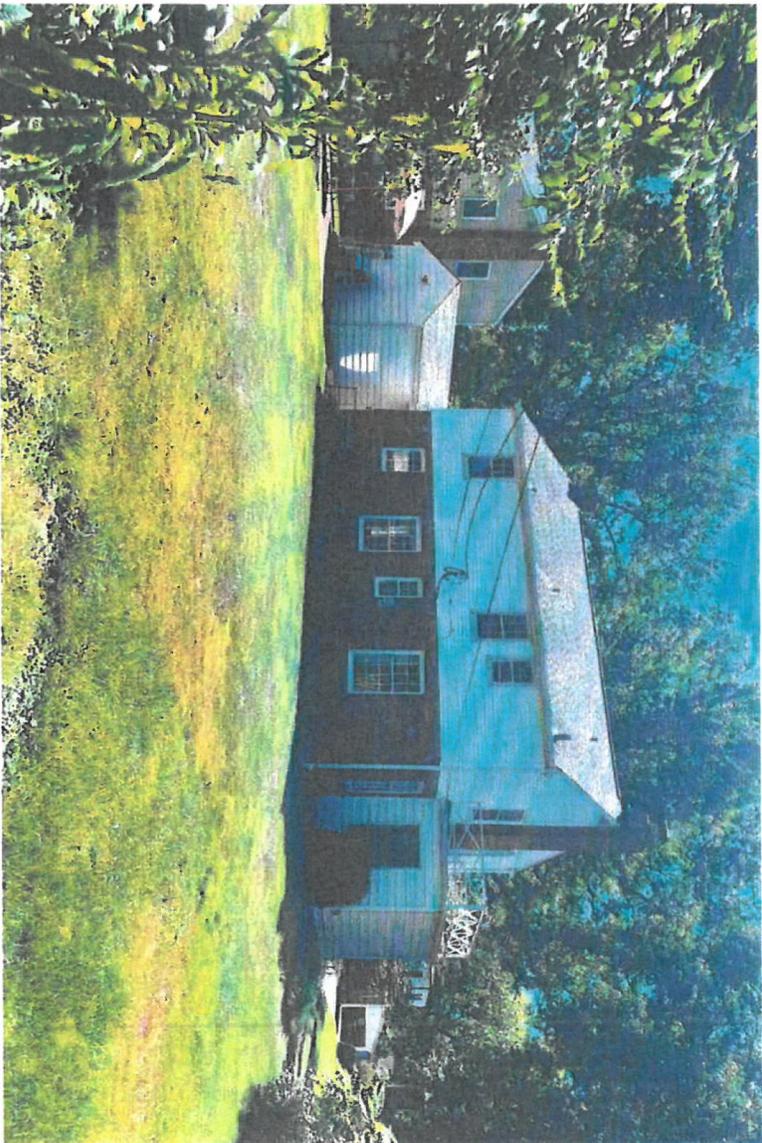
751 Hawbrook



Peak
751 Hawthorn

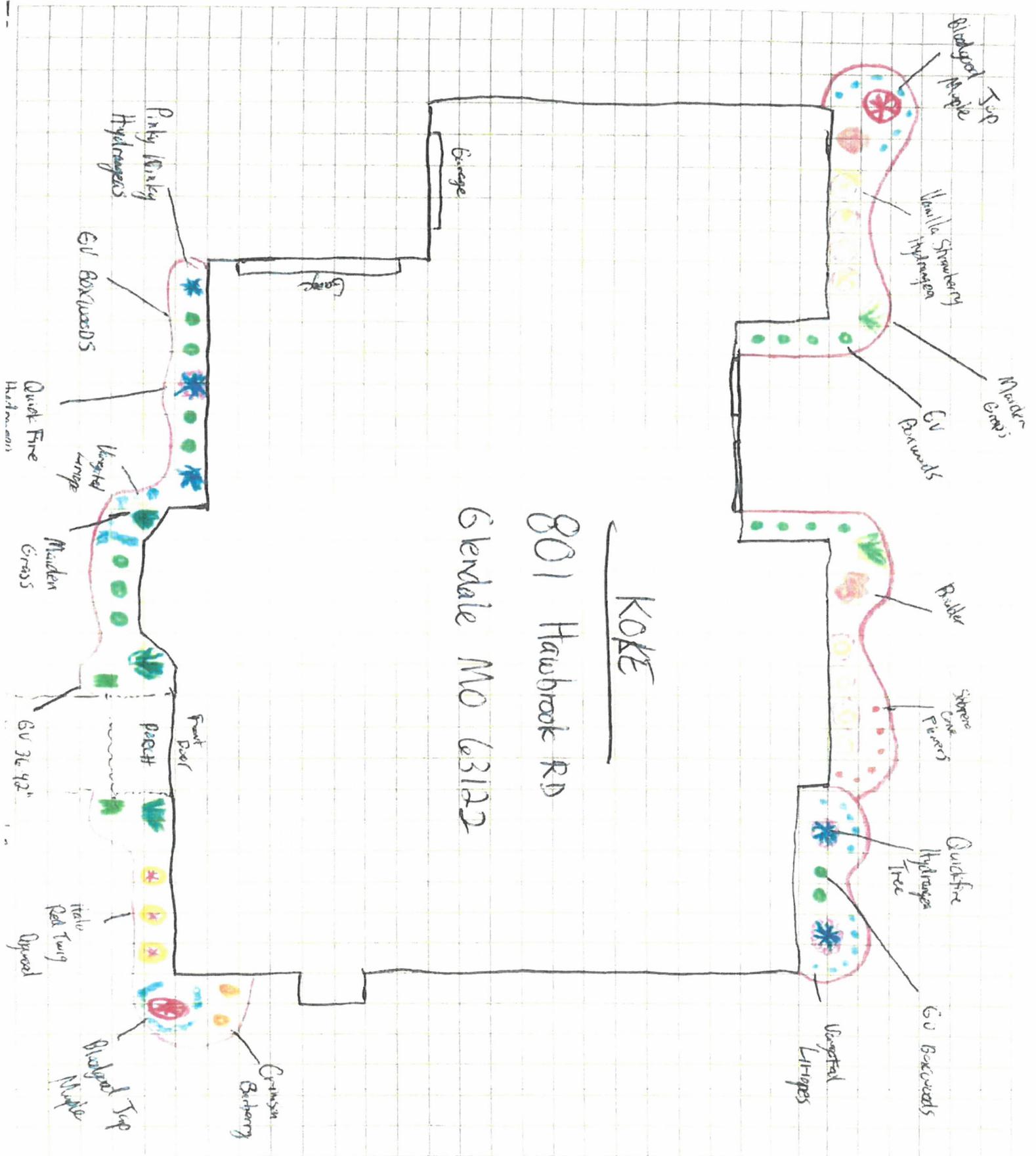


FRONT
807 Hawthorne

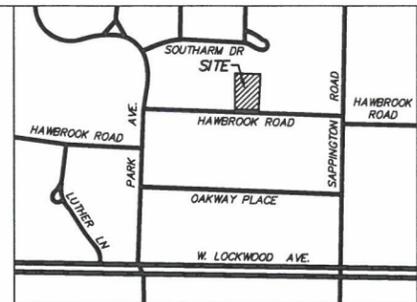


Real
807 Hawks Road

Designed By:
T and T Lawn Care
www.TandTLawnCare.net
(314) 324-0911





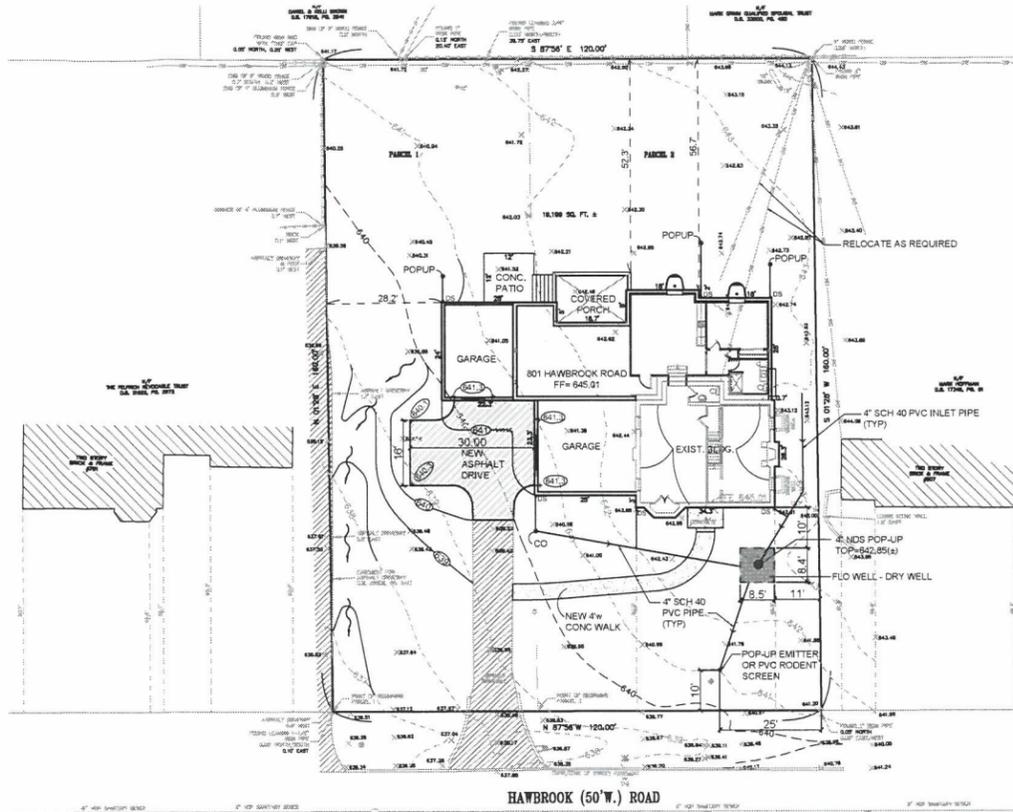


LOCATION MAP



Existing Site Plan

SITE AREA : 19,199 sf
 IMPERVIOUS AREA : 4,014 sf
 PERVIOUS AREA : 15,185 sf



Proposed Site Plan

SITE AREA : 19,199 sf
 IMPERVIOUS AREA : 5,217 sf
 PERVIOUS AREA : 13,982 sf



LEGEND

- 600 — EXISTING CONTOUR
- 511 — PROPOSED CONTOUR
- 511.0 X PROPOSED GROUND ELEVATION
- TF TOP OF FOUNDATION
- TW TOP OF WALL
- BW BOTTOM OF WALL AT GROUND
- EX EXISTING
- FF FINISHED FLOOR
- TW TOP OF WALL
- BF BASEMENT FOUNDATION
- TBR TO BE REMOVED
- CO CLEANOUT
- PL PROPERTY LINE
- DND DO NOT DISTURB
- DS DOWNSPOUT (DS)
- SM PROPOSED SANITARY MANHOLE
- SI PROPOSED STORM INLET
- — UNDERGROUND CATY LINE
- 8" WATER MAIN
- W — PROPOSED WATER
- S — PROPOSED SANITARY
- ST — PROPOSED STORM SEWER
- LAT — PROPOSED 6" PVC GRAVITY SEWER LATERAL
- — DISTURBED AREA LIMITS
- X X SILT FENCE
- G GUTTER
- RD EX. 4" PVC ROOF DRAIN

NOTES:

1. The engineer's seal on this plan pertains only to the sizing of Flo-Well Dry Well System and calculations of the site differential runoff.
2. The location of the Flo-Well Dry Well System shall be as determined by the contractor and owner. The discharge pipe from the Flo-Well System shall be at least 10' from the adjoining property and shall be at a grade that does not create an erosive discharge velocity (under 4 fps).
3. Gutter protection system such as Leaf Guard Gutter by Englert (www.leafguard.com), or Gutter Helmet (www.gutterhelmet.com) shall be provided for all gutters connected to the Flo-Well Dry Well System. See detail sheet 2.

CONTRACTOR SHALL DIRECT 1,203 SQ. FT. OF IMPERVIOUS AREA TO DRY WELL SYSTEMS.

Runoff Calculations:

1. Lot Size: 19,199 sq ft
2. Existing impervious area, sq ft: 4,014 sq. ft.
3. Proposed impervious area, sq. ft = 5,217 sq. ft.
4. Total impervious area increase = (5,217 - 4,014) sq ft = 1,203 sq ft
5. Increased runoff = 1,203 sf x 1.14"/12 = 114 cf
6. Rock required with 40% porosity = 114 cf/0.40 = 285 cf
7. Using a rock depth of 4": rock area = 285 cf/4' = 71 sf (8.4' x 8.5')
8. Rock area for Dry Well shall be 4' deep x 71 sf (see above)
9. Contractor shall direct 1,203 sf of impervious area to dry well systems.
10. Should two (2) Dry Well Systems be required, total impervious areas directed to Dry Well Systems shall be 1,203 sq. ft.. Total Dry Well Gravel area 4' deep shall equal 71 sf.

NOTE:
 NO CONSTRUCTION SHALL BEGIN UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN LOCATED AND IDENTIFIED.
 CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD UTILITY LINES

CONSTRUCTION NOTES:

1. The location of Dry Well System shown on this plan is approximate and may change based on the owner's and contractor's decision. HOWEVER, in no circumstance shall the impervious area directed to the Dry Well System be NO GREATER THAN 1,000 SF, unless approved by the City of Glendale.
2. The rock used for the Dry Well system shall be 1/2 - 1.5-inch rock per ASTM No. 57).
3. Aggregate shall be wrapped top, bottom and sides with a Mirafl 140 N (or approved equal) non-woven geosynthetic.
4. All pipe shall be schedule 40 PVC or an approved equal.
5. Perforated pipe in dry well shall have polyester filter sock wrap.
6. Existing conditions indicated on these plans, including existing calculations, are not covered under the engineer's seal.

NOTE:
 THE ENGINEER'S SEAL ON THIS PLAN PERTAINS ONLY TO THE CALCULATIONS AND DESIGN OF THE DRY WELL SYSTEM

PROJECT INFORMATION

1. Address of Site: 801 Hawbrook Road
Glendale, Missouri 63122
2. Property Owner: Kevin & Carley Koke
1018 Northview Court
Glendale, Missouri 63122
3. Locator Number: 23M341294
4. Current Zoning: R-1 Single Family
5. Area of Site: 0.44 ac (19,199 sf)
6. School District: Kirkwood
7. Fire District: Glendale
8. Existing use: residential
9. Proposed Use: residential
10. Building Setbacks:
Front: 35'
Side: 10'
Rear: 30'

SHEET INDEX

- 1/1 SITE PLAN & DRY WELL SYSTEM
- 2/2 DRY WELL DETAILS

PREPARED FOR:
Pearl Construction, LLC
 C/O Rex Pearl
 58 Hill Drive
 Glendale, Missouri 63122

MSD BASE MAP NO. 23M

CAUTION!!!
 CONTRACTOR SHALL EXERCISE EXTREME CAUTION DURING EXCAVATION OPERATIONS TO AVOID AND PROTECT EXISTING UNDERGROUND UTILITIES.

THE UNDERGROUND UTILITIES SHOWN HEREIN HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION, OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMO.

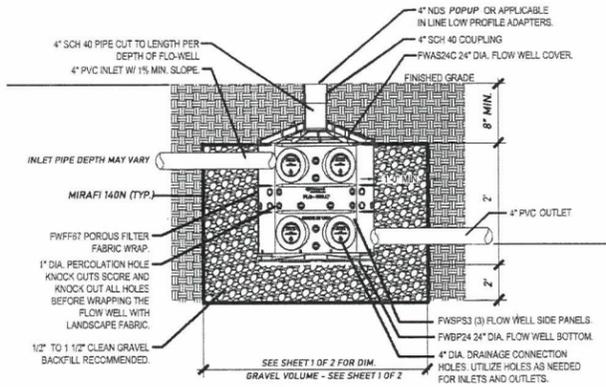


1-800-DIG-RITE

SITE DEVELOPMENT ENGINEERING, INC. CORPORATE CERTIFICATE OF AUTHORITY No. 001228 	PROJECT SITE ADDRESS / LOCATION: 801 HAWBROOK ROAD	
	SDE SITE DEVELOPMENT ENGINEERING, INC. PLANNING • CONSULTING • CIVIL ENGINEERING 801 HAWBROOK ROAD 3512 Yaeger Crossing Court St. Louis, Missouri 63129 314-422-4800 sdr@sde-civil.com	
DATE : 09/01/23	JOB NO. : 223-324	DRAWN BY : DWD
CHECKED BY : SDR	SCALE : as shown	
Site Plan & Dry Well System		SHEET 1 OF 2



NDS, INC.
851 NORTH HARVARD AVE.
LINDSAY, CA 93247
TOLL FREE: 1-800-726-1994
PHONE: (559) 562-9888
FAX: (559) 562-4488
www.ndspro.com



- NOTES:**
- MUST BE INSTALLED 10' AWAY FROM STRUCTURE OR FOUNDATION.
 - FWAS24 KIT DOES NOT COME WITH FWBP24 BTM.
 - REFERENCE FLOWWELL CALCULATOR ON NDSPRO.COM
 - INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - DO NOT SCALE DRAWING.
 - THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
 - ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

FLO-WELL DRY WELL SYSTEM
FLO-WELL INSTALLATION DETAIL - LOAD CLASS "A" & "B" - GRAVEL INSTALLATION DETAIL

REVISION DATE 3-5-2015

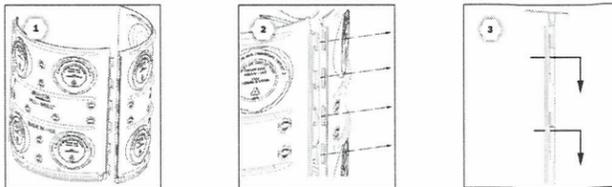
Flo-Well Assembly and Installation Sheet

Thank you for purchasing the Flo-Well system by NDS, the following information can help you maximize the benefits Flo-Well has to offer.

WARNING: Call before you dig. Contact your local utilities to create utility mark-out, and to avoid personal injury.
RECOMMENDED: For all Flo-Well configurations install at least an appropriate 10 feet from foundations or structures.

ASSEMBLY INSTRUCTIONS

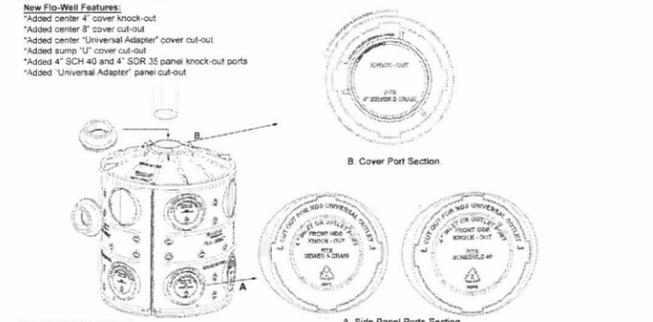
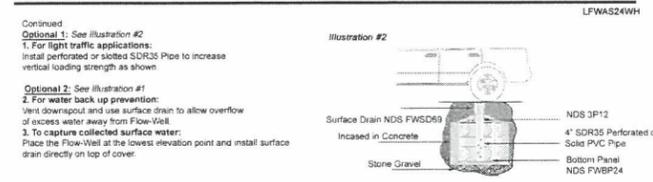
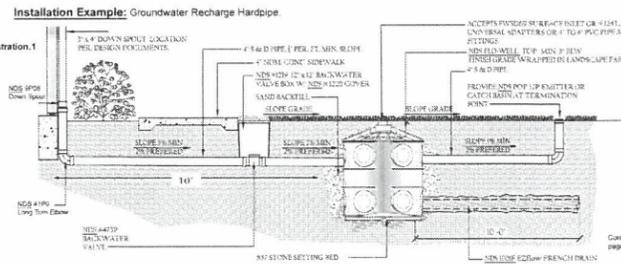
- Place two panels side by side and align male tabs with female flange.
- Pinch tabs and flange flush until panels interlock.
- For final lock, slide male tabs downward until panel edges are leveled at top.
- Repeat steps 1-3 for the third panel assembly.
- Set cover over panel assembly and rotate until all three panel flanges are aligned with cover screw locations.



DRY WELL SETUP

Required items: Small hammer, tape, fabric pack, NDS Universal Adapter, shovel, sand or recommended 3/4" stone gravel, 4" PVC pipe, jig saw, and catch basin or downspout adapter.

- Strategically plan Flo-Well's location at a minimum distance of 10' from foundations.
 - Note: Take into consideration traffic and elevation conditions.
- Once Flo-Well location is verified, dig a 4' wide by 4' deep hole.
- Dig a trench from the end of the downspout at about 1' deep and 6" wide that slopes gradually towards the Flo-Well.
- For pipe connection and leach direction, use small hammer to knock-out appropriate 1" and 4" panel ports or use jigsaw to cut out universal adapter port.
- Wrap fabric around Flo-Well and secure with tape to prevent soil from entering drain holes.
- Place Flo-Well assembly into ground and insert preferred 4" pipe into knocked-out port. Connect other end of 4" pipe to downspout either by catch basin or downspout adapter.
 - Note: Use NDS Universal Adapter and lock within panel universal adapter cut out for 3" and 6" pipes.
- Backfill evenly around the Flo-Well with sand or recommended 3/4" stone gravel.
- Bury Flo-Well assembly with top at least 8" below the surface grade.



SUMP PUMP SETUP

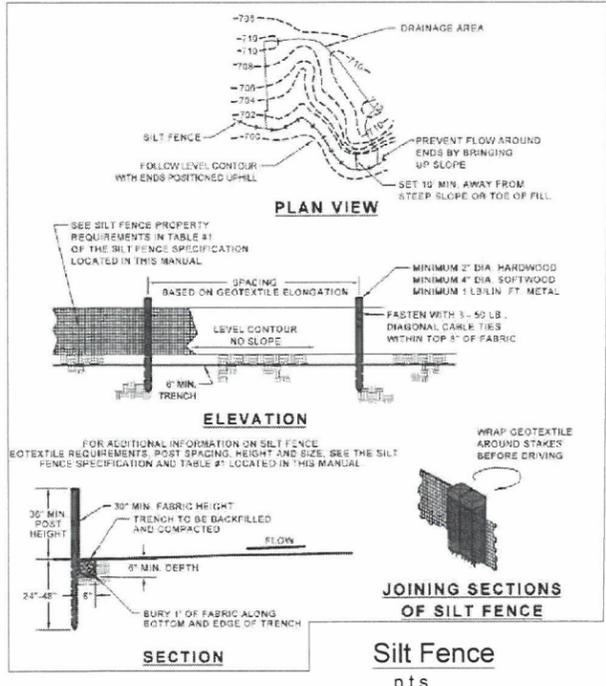
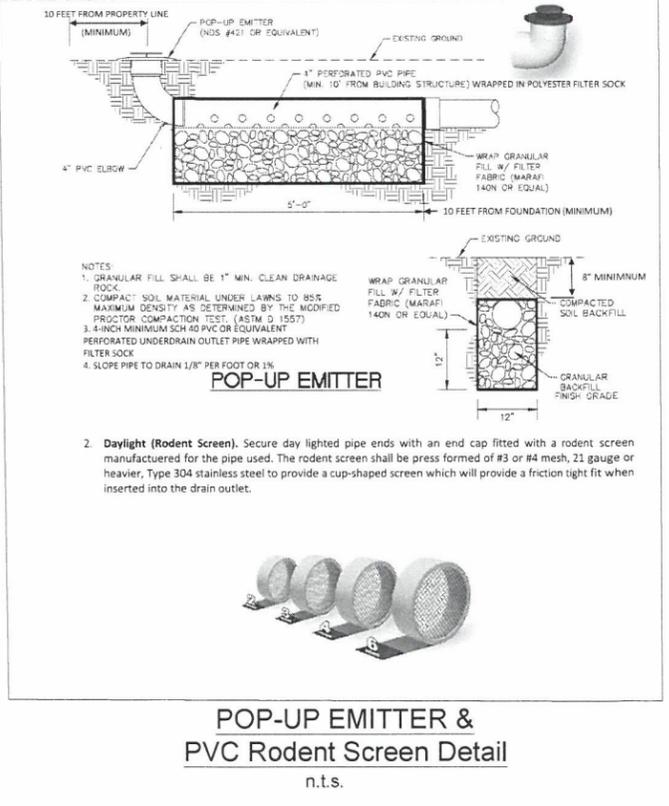
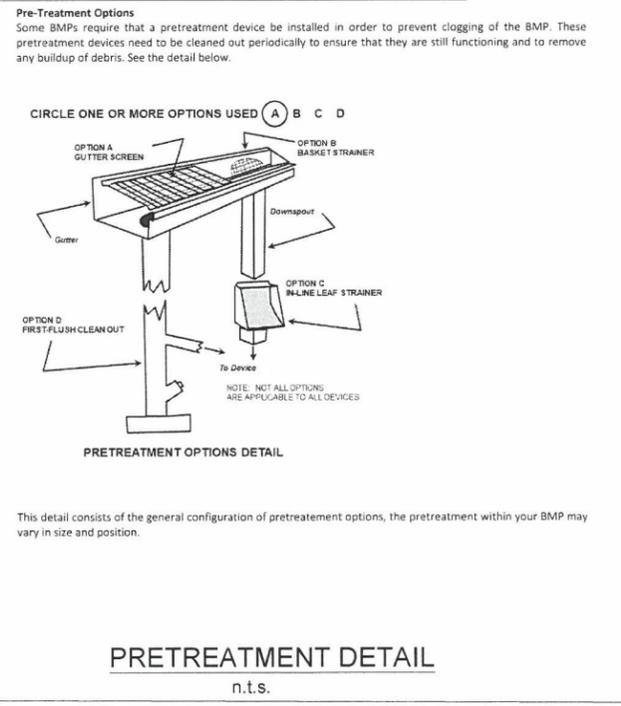
Required items: Small hammer, tape, fabric pack, shovel, sand or recommended 3/4" stone gravel, jig saw, and pump.

- Follow assembly instructions in section 1 then dig a 4' wide by 4' deep hole at a minimum distance of 10' from foundations.
- For leach direction, use small hammer to knock-out appropriate 1" panel drain holes.
- Wrap fabric around Flo-Well and secure with tape to prevent soil from entering drain holes.
- Place Flo-Well assembly into ground and back fill around evenly up to cover with sand or recommended 3/4" stone gravel.
- For sump pumps there are (3) options:
 - Knock-out the center 4" plug on the top cover if your pump has a center discharge.
 - Cut-out 8" circle template on cover with jigsaw for drop-in sump, cover with 8" S&D pipe, cap or install NDS 8" rd. grate part # 1040.
 - Cut out the "U" shaped section on the top of cover with a jig saw for pedestal pumps with cut-off floats.
- Attach pump to cover to insure smooth operation of cut-off float.

For installation details, please visit our website www.ndspro.com

IMPORTANT NOTICE: It is your obligation to determine whether this product is suitable for your intended use and particular method of application. CONSULT YOUR LOCAL BUILDING OFFICIALS TO INSURE COMPLIANCE WITH ALL BUILDING CODES AND REQUIREMENTS.

CAUTION: The step-by-step installation instructions provided reflect mechanical assembly only. Additional information may be necessary to insure proper results for all applications. Consult with professionals to determine special soils conditions and structural requirements.



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CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD UTILITY LINES

NOTE:
THE ENGINEER'S SEAL ON THIS PLAN PERTAINS ONLY TO THE CALCULATIONS AND DESIGN OF THE DRY WELL SYSTEM

MSD BASE MAP NO. 23M

PROJECT SITE ADDRESS / LOCATION: 801 HAWBROOK ROAD

SDE SITE DEVELOPMENT ENGINEERING, INC.
PLANNING • CONSULTING • CIVIL ENGINEERING

3512 Yaeger Crossing Court
St. Louis, Missouri 63129
314-822-4800
sdr@sde-civil.com

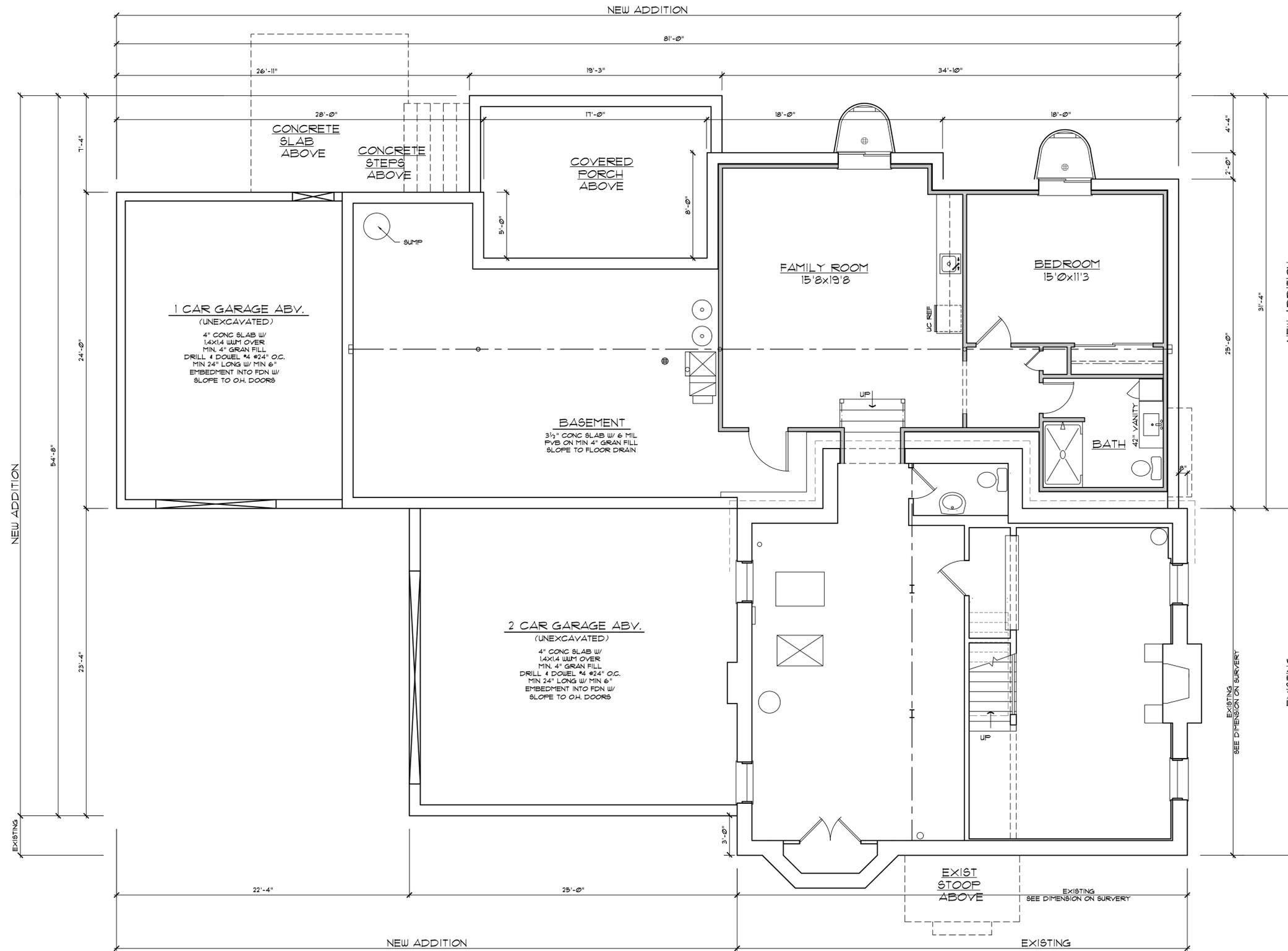
801 HAWBROOK ROAD

DATE: 09/01/23
CHECKED BY: SDR
JOB NO.: 223-324
DRAWN BY: DWD
SCALE: as shown

Dry Well Details

REV: .

SHEET: **2 OF 2**



BASEMENT/FOUNDATION/LOWER LEVEL FINISH PLAN

1/4" = 1'-0"

RELEASED FOR ARB: 9-1-2023

BASEMENT/FOUNDATION/
LOWER LEVEL FINISH PLAN

DATE	9-1-2023	JOB	2023-48
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REV.			
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A-1

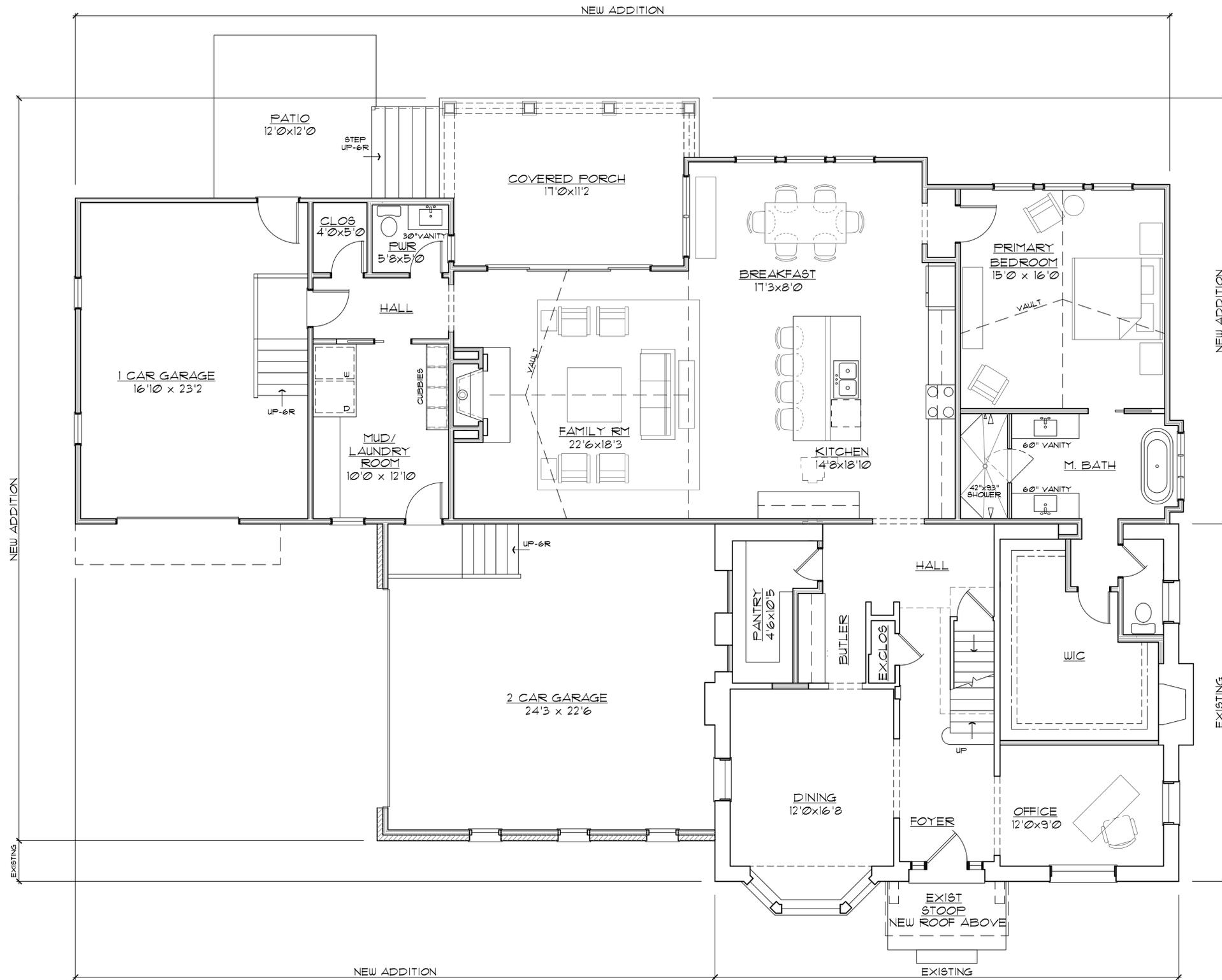
1 of 5 SHEETS

PROPOSED ALTERATIONS FOR:
MR. and MRS. KEVIN KOKE
801 HAWBROOK RD
ST. LOUIS, MISSOURI 63122

DONNA F. BOXX, Architect, P.C.
160 Marine Lane
St. Louis, Missouri 63146
(314) 434-2333
FAX (314) 434-2203
www.boxxarchitect.com



Missouri State Certificate of Authority: 0000642



FIRST FLOOR PLAN Existing 930 sf - New Addition 1525 sf

1/4" = 1'-0"

RELEASED FOR ARB: 9-1-2023

FIRST FLOOR PLAN

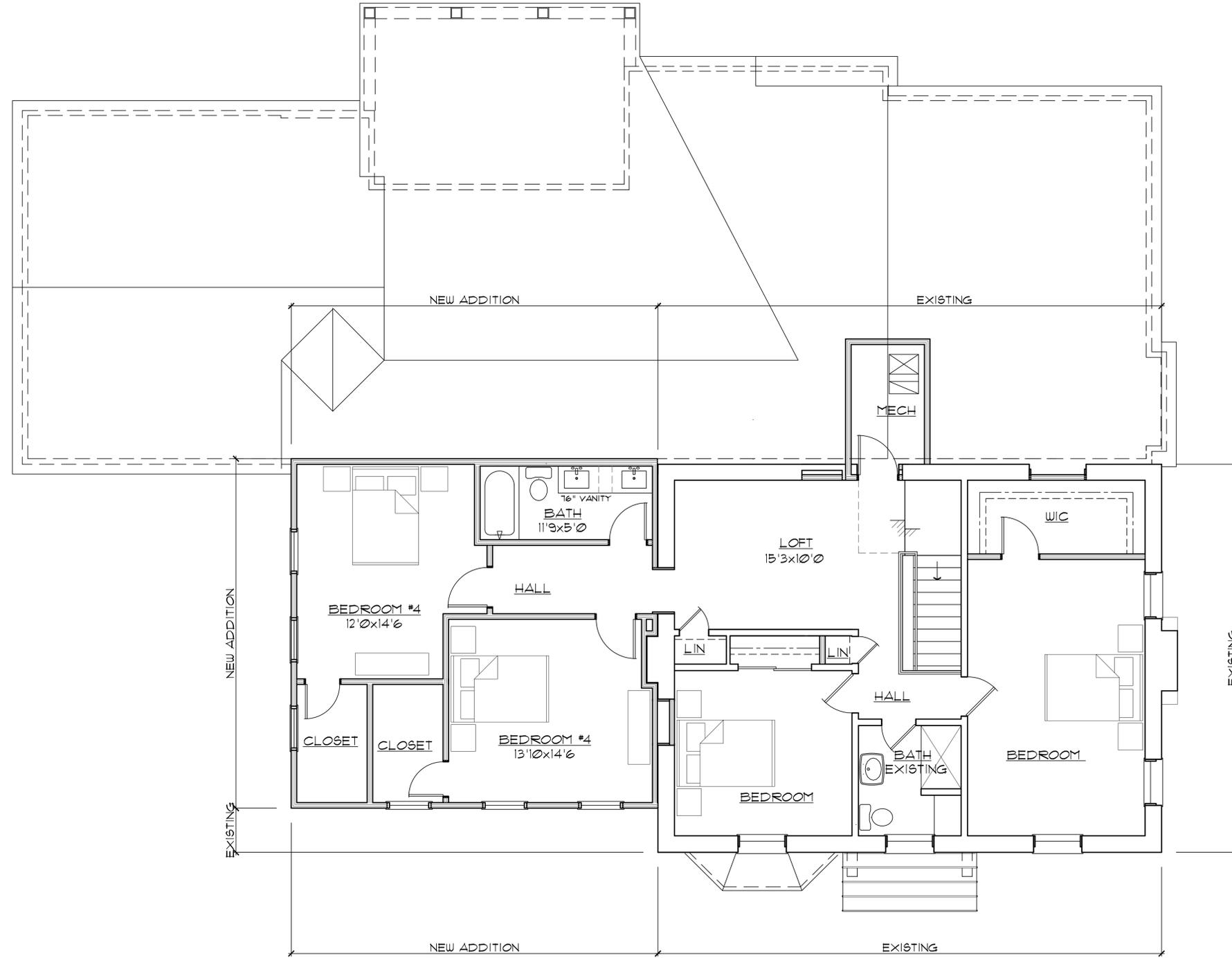
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A-2

2 of 5 SHEETS

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SECOND FLOOR PLAN Existing 911 sf-New Addition 638 sf

1/4" = 1'-0"

RELEASED FOR ARB: 9-1-2023

SECOND FLOOR PLAN

DATE	9-1-2023	JOB	2023-48
REV.			
REV.			
REV.			
SHEET	A-3		
3 OF 5 SHEETS			

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FRONT (SOUTH) ELEVATION

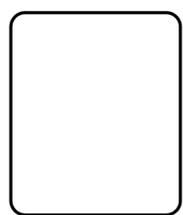
1/4" = 1'-0"

NOTES FOR ARB REVIEW:
 1. EXTERIOR MATERIAL WILL BE A COMBINATION OF BRICK VENEER AND 'HARDIE' HORIZONTAL SIDING.
 2. ROOFING WILL BE ARCHITECTURAL SHINGLES.
 3. WINDOWS WILL BE WHITE.
 4. GUTTERS WILL BE WHITE.
 5. SEE COLORED FRONT ELEVATION FOR EXTERIOR COLORS.



REAR (NORTH) ELEVATION

1/4" = 1'-0"



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RELEASED FOR ARB: 9-1-2023
 EXTERIOR ELEVATIONS

DATE	9-1-2023	JOB	2023-48
REV.			
REV.			
REV.			
SHEET	A-4		
	4	of	5 SHEETS



1/4" = 1'-0"

- NOTES FOR ARB REVIEW:
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 2. ROOFING WILL BE ARCHITECTURAL SHINGLES.
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1/4" = 1'-0"

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EXTERIOR ELEVATIONS

DATE	9-1-2023	JOB	2023-48
REV.			
REV.			
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SHEET	A-5		
	5	OF	5 SHEETS